

Borough of Kinnelon

Planning Board

September 2, 2021

The regular monthly meeting of the Kinnelon Planning Board was called to order by Vice Chairperson Dr. Savino at 7:30 p.m., Thursday, September 2, 2021 in the Municipal Building.

It was reported that adequate notice of this meeting had been given in accordance with the Sunshine Law by posting a notice on the municipal bulletin board, by publication of a legal notice in the Suburban Trends on February 2021 and by sending the meeting date to the Daily Record and Herald News.

Present and answering roll call in addition to Dr. Savino was Mrs. Smialek, Mayor Freda, Councilman Yago and Mr. Chirido. Mrs. Roselius and Mr. Schwartz were not present for this meeting. Mr. Tombalakian and Mr. Boorady were present for this meeting.

A motion to approve the June 3, 2021 minutes was offered by Councilman Yago, second by Mrs. Smialek with the affirmative "yes" vote of all on roll call.

A motion to approve the below resolution #841 Petco sign was offered by Mrs. Smialek, second by Councilman Yago with the affirmative "yes" vote of all on roll call. Mr. Lockwood abstained.

**RESOLUTION
BOROUGH OF KINNELON
PLANNING BOARD
IN THE MATTER OF PETCO
APPLICATION FOR SIGNAGE**

Approved: June 3, 2021

Memorialized: _____

WHEREAS, Petco (hereinafter "Applicant") has filed an application with the Borough of Kinnelon Planning Board, (hereinafter "Planning Board" or "Board"), for sign approval for property known as Block 45301, Lot 101, on the Tax Map of the Borough of Kinnelon (hereinafter "Borough"), which premises are

located at 1483 Route 23 South, Kinnelon, New Jersey, and located in the “C” Commercial Zone (hereinafter “C Zone”); and

WHEREAS, the Applicant has applied to the Kinnelon Borough Planning Board for approval pursuant to the Code of the Borough of Kinnelon, Article VI, Signs, which authorizes the Planning Board to review and approve all sign applications within the Borough; and

WHEREAS, a public hearing was held on June 3, 2021, after the Planning Board determined it had jurisdiction; and

WHEREAS, the Applicant appeared through its sign contractor, Brian Robinson of Anchor Sign, Inc.

NOW, THEREFORE, the Planning Board makes the following findings of fact, based on evidence presented at its public hearing, at which time a record was made.

The within application is for premises known and designated as Block 45301, Lot 101, on the Tax Map of the Borough of Kinnelon and located at 1483 Route 23 South, Kinnelon, New Jersey. The subject site is located in the C Zone.

Testifying on behalf of the Applicant was Brian Robinson, the Applicant’s sign contractor from Anchor Sign, Inc. Mr. Robinson testified that the Applicant has an existing storefront location within the Meadtown Shopping Center, and provided a May 24, 2021 letter from Andrew Albrecht, Vice President/Director of Management & Construction of UB Kinnelon I, LLC, confirming the property owner’s consent to the sign application. Mr. Robinson also submitted into evidence a ten-page sign exhibit, marked A-1, dated March 16, 2021 and revised through May 5, 2021, which provided detailed specifications for the proposed signage, which included: (1) Sign A – 42”H “petco” internally illuminated/LED individual channel letters to be mounted on the store façade above the front entry doors; (2) Sign B – 12”H “vetco total care” internally illuminated/LED individual channel letters to be mounted

on the right hand side of the store façade; (3) Sign C – 32”H “petco THE HEALTH + WELLNESS CO.” lexan tenant identification sign panel to be placed upon the existing D/F pylon; and (4) Sign D – 13-1/4” “petco vetco total care” lexan tenant identification panel with applied vinyl to be placed upon the existing wall sign. All of these signs would replace existing Petco signs that require replacement as the corporate logo has been updated, including the cat and dog logo presently located on the storefront.

Exhibit A-1 further depicts a two (2) sided temporary 42”H banner to be hung across the upper façade advertising the anticipated arrival of the new veterinarian “vetco total care” operation, with the reverse side of the banner providing a “now open” message. Finally, Exhibit A-1 also depicted several window mounted displays, to consist with digitally printed perforated vinyl, to be hung on the inside-side of the front façade glass, but these particular interior display boards were not considered to be the type of signage requiring Board approval, and thus were recognized as being exempt from approval.

The meeting was opened to the public and there were no members of the public present expressing an interest in this application.

NOW, THEREFORE, the Planning Board makes the following conclusions of law, based on the foregoing findings of fact.

The nature of the application is to install new storefront façade and pylon signage to provide visibility for both revised corporate branding as well as a new veterinarian clinic proposed for the existing Petco location within the Meadtown Shopping Center. Except for the temporary banner, discussed below, the proposed signage is permitted and the Applicant requires Planning Board review and approval to modify signage within Kinnelon’s highway commercial district.

The Board concludes that the Application should be granted. The Board finds that the proposed tenant identification signage is appropriate and in keeping with the previously approved site signage.

With respect to the temporary banner, these are typically discouraged within the Commercial District and not approved, but under these circumstances the Board appreciates that the Applicant requires visibility to attract potential customers to a significant new service being provided at this location, so the Board will allow the temporary banner to be hung on the store façade for a total of ninety (90) days.

Upon consideration of the plans, testimony and application, the Board determines that the Applicant has provided sufficient information so as to enable the Board to render an informed decision with regard to the request for sign approval. The Board determines that it is appropriate to grant the application for the building façade and pylon mounted signage proposed by the Applicant.

NOW, THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Kinnelon, that the application of Petco for premises commonly known as Block 45301, Lot 101, on the Tax Map of the Borough of Kinnelon and located at 1483 Route 23 South, in the C Zone District and requesting sign approval, is approved.

IT IS FURTHER RESOLVED that this approval is granted subject to the following terms and conditions:

1. The signage to be installed shall be consistent with that depicted and described by Exhibit A-1, dated March 16, 2021 and revised through May 5, 2021.
2. The temporary banner may be hung on the store's façade for a total period of ninety (90) days.
3. The Applicant represents that all of its representations and stipulations made by it or on its behalf to the Borough of Kinnelon are true and accurate and acknowledges that the Planning Board specifically relied upon said stipulations in the Board's granting of approval. If said

representations and stipulations are false, this Approval is subject to revocation.

4. This approval is granted strictly in accordance with any recommendations set forth on the record by the Planning Board at the time of the public hearing on June 3, 2021.
5. All terms and conditions of the Board's prior resolutions, if any, regarding this property remain in full force and effect except as satisfied or amended by this approval and not in conflict with this approval.
6. Payment of all fees, costs and escrows due or to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
7. Certificate that taxes are paid current to date of approval.
8. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Kinnelon, County of Morris, State of New Jersey or any other jurisdiction.

The undersigned Secretary certifies the within Resolution was adopted by this Planning Board on September 2, 2021, and memorialized herein pursuant to N.J.S.A. 40:55D-10(g) on

_____.

Jennifer Alimurat, Board Secretary

In favor:

Against:

Abstained:

Board Members Eligible to Vote:

A motion to approve the below resolution #842 Atlantic Health sign was offered by Councilman Yago, second by Mrs. Smialek with the affirmative “yes” vote of all on roll call. Mr. Lockwood abstained.

**RESOLUTION
BOROUGH OF KINNELON

PLANNING BOARD

IN THE MATTER OF AHS HOSPITAL CORP.

APPLICATION FOR SIGNAGE**

Approved: June 3, 2021

Memorialized: _____

WHEREAS, AHS Hospital Corp. d/b/a/ Atlantic Medical Group (hereinafter “Applicant”) has filed Application #842 with the Borough of Kinnelon Planning Board, (hereinafter “Planning Board” or “Board”), for sign approval for property known as Block 45201, Lot 102, on the Tax Map of the Borough of Kinnelon

(hereinafter “Borough”), which premises are located at 25 Kinnelon Road, Kinnelon, New Jersey, better known as the Kinnelon Mall and located in the “C” Commercial Zone (hereinafter “ C Zone”); and

WHEREAS, the Applicant has applied to the Kinnelon Borough Planning Board for approval pursuant to the Code of the Borough of Kinnelon, Article VI, Signs, which authorizes the Planning Board to review and approve all sign applications within the Borough; and

WHEREAS, a public hearing was held on June 3, 2021, after the Planning Board determined it had jurisdiction; and

WHEREAS, the Applicant was represented by Willard Bergman, Jr., Esq.

NOW, THEREFORE, the Planning Board makes the following findings of fact, based on evidence presented at its public hearing, at which time a record was made.

Testifying on behalf of the Applicant was Jeffrey Rappaport, the Applicant’s real estate manager. Mr. Rappaport testified that the Applicant had leased a storefront location within the Kinnelon Mall from property owner Kin-Mall Properties LLC, who consented to the signage application by email received by the Board Secretary on June 3, 2021. Mr. Rappaport also submitted into evidence a four -page sign exhibit, marked A-1, dated May 25, 2021, which provided detailed specifications for the proposed signage, which included: (1) 73.6”W by 14”H cut vinyl lettering of “Atlantic Medical Group” to be mounted on the existing façade mounted directory panel; (2) 55”W by 10.6” H cut vinyl lettering of “Atlantic Medical Group” to be mounted on the existing freestanding directory panel; and (3) 8”H lettering “Atlantic Health Systems” to be printed on a 40”H awning to be mounted above this unit’s window, replacing the earlier above-door awning utilized by the prior Music Den tenant, which door awning is being removed. With respect to installation of the proposed window awning, the existing railroad tie supported landscaping, which now obscures the window, will be replaced with low vegetation landscaping. As this office will limited to four

(4) doctors, practicing obstetrics or general practice and not urgent care, Atlantic Health may elect to install several window mounted displays, consisting of digitally printed perforated vinyl, to be hung on the inside-side of the front façade glass, to advertise certain services provided at this location (i.e., “Primary Care at Kinnelon” and “Women’s Health at Kinnelon”), but these particular interior display boards were not considered to be the type of signage requiring Board approval, and thus were recognized as being exempt from approval.

The meeting was opened to the public and there were no members of the public present expressing an interest in this application.

NOW, THEREFORE, the Planning Board makes the following conclusions of law, based on the foregoing findings of fact.

AHS Hospital Corp. is the Applicant for premises known and designated as Block 45201, Lot 102, on the Tax Map of the Borough of Kinnelon, which premises are located at 25 Kinnelon Road, Kinnelon, New Jersey, better known as the Kinnelon Mall and located in the “C” Commercial Zone.

The nature of the application is to include new tenant identification signage on both of the property’s existing directory signs, located on the façade and freestanding, as well as install a window awning sign to replace the door awning utilized by the prior unit tenant, to provide visibility for a new medical clinic proposed for the former “Music Den” location within the Kinnelon Mall. The proposed signage is permitted and the Applicant requires Planning Board review and approval to modify signage within Kinnelon’s highway commercial district.

The Board concludes that the Application should be granted. The Board finds that the proposed tenant identification signage is appropriate and in keeping with the previously approved site signage.

Upon consideration of the plans, testimony and application, the Board determines that the Applicant has provided sufficient information so as to enable the Board to render an informed decision with regard to the request for sign approval. The Board determines that it is appropriate to grant the application for the awning, façade and freestanding director signage proposed by the Applicant.

NOW, THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Kinnelon, that the application of AHS Hospital Corp. for premises commonly known as Block 45201, Lot 102, on the Tax Map of the Borough of Kinnelon, which premises are located at 25 Kinnelon Road, Kinnelon, New Jersey, better known as the Kinnelon Mall and located in the “C” Commercial Zone and requesting sign approval, is approved.

IT IS FURTHER RESOLVED that this approval is granted subject to the following terms and conditions:

1. The signage to be installed shall be consistent with that depicted and described by Exhibit A-1, dated May 25, 2021.
2. The building permit application for the proposed canopy, which shall not be illuminated beyond reuse of existing light fixtures, shall confirm structural suitability to the satisfaction of the building department.
3. The Applicant represents that all of its representations and stipulations made by it or on its behalf to the Borough of Kinnelon are true and accurate and acknowledges that the Planning Board specifically relied upon said stipulations in the Board’s granting of approval. If said representations and stipulations are false, this Approval is subject to revocation.

4. This approval is granted strictly in accordance with any recommendations set forth on the record by the Planning Board at the time of the public hearing on June 3, 2021.
5. All terms and conditions of the Board's prior resolutions, if any, regarding this property remain in full force and effect except as satisfied or amended by this approval and not in conflict with this approval.
6. Payment of all fees, costs and escrows due or to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
7. Certificate that taxes are paid current to date of approval.
8. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Kinnelon, County of Morris, State of New Jersey or any other jurisdiction.

The undersigned Secretary certifies the within Resolution was adopted by this Planning Board on September 2, 2021, and memorialized herein pursuant to N.J.S.A. 40:55D-10(g) on _____, 2021.

Jennifer Alimurat, Board Secretary

In favor:

Against:

Abstained:

Board Members Eligible to Vote:

Application #844 Kinnelon High School Field Signage

Mr. Tombalakian swore in Mr. Thomas Schneider from Bergen Sign Company.
Mr. Schneider testified on the bellow sign renderings.



SMITH ATHLETIC COMPLEX

MEMORIAL FOOTBALL FIELD

121 Kinmelon Rd. Kinmelon, NJ 07405

08/10/2021

KINNELON HIGH SCHOOL FIELD RENOVATION

▬ PROPOSED NEW FIELD ENTRANCE ARC ▬

90 Newark Pompton Turnpike
Wayne, NJ 07470
Ph. 973.742.2755 Fax. 973.742.0598

B BERGEN
S C SIGN COMPANY

www.Bergensign.com

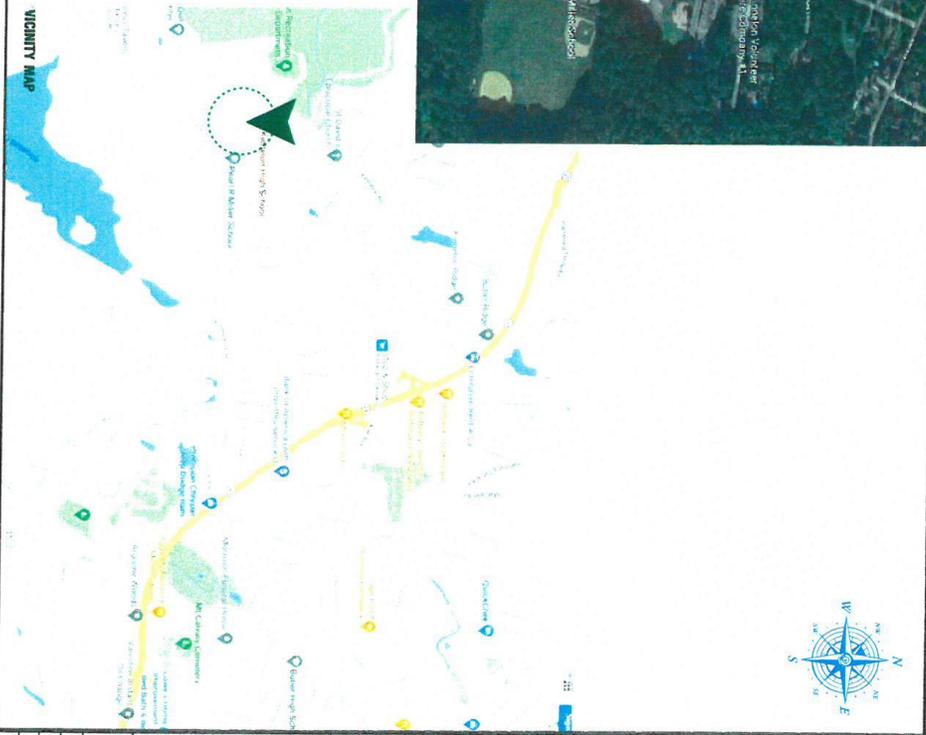
4100 North Powerline Road Suite L4
Pompano Beach, FL 33073
Ph. 954.957.9961 Fax. 954.957.9014

JONATHAN & JANE SMITH - MEMORIAL FOOTBALL FIELD - KINNELON HIGH SCHOOL

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* Scale and site plan for positioning only



B BERGEN
SIGN COMPANY

380 Newark Freeway, Township
Wayne, NJ 07470
Tel: 973.232.1232 Fax: 973.242.0998
4100 North Branch Road, Suite 14
Parsippany, NJ 07054
Tel: 973.232.1232 Fax: 973.242.0998
www.bergen-sign.com

Work Order

Client:
JONATHAN & JANE SMITH
MEMORIAL FOOTBALL FIELD

Project Address:
121 Kinmelon Rd.
Kinmelon, NJ 07405

Customer Approval:

Signature

Approved Date

ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

Engineer Information:

Engineer Seal

ENGINEER COMMENT:

Design, Fabrication & Construction shall conform to State & City Codes

Drawing By: Manjiv

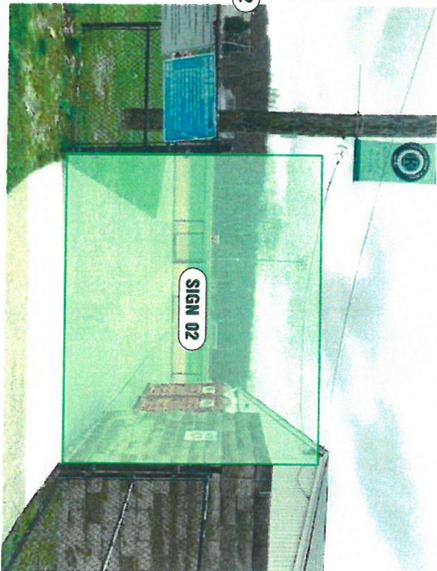
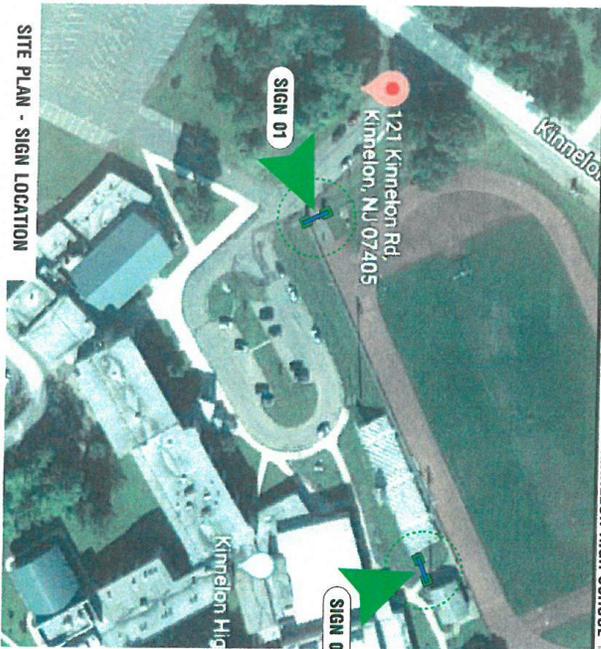
Jonathan & Jane Smith Memorial Field Arc

Date: 08/10/2021

Sheet: 02

JONATHAN & JANE SMITH - MEMORIAL FOOTBALL FIELD - KINNELON HIGH SCHOOL

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SITE PLAN - SIGN LOCATION
SURVEY PICTURES - EXISTING CONDITIONS

BERGEN SIGN COMPANY

80 Newark Avenue, Springfield
 Warren, NJ 07070
 Tel: 973.262.7225 Fax: 973.262.0028
 4100 North Boulevard, Suite 114
 Springfield, NJ 07081
 Tel: 973.262.7225 Fax: 973.262.0028
www.bergen-sign.com

Work Order:

Client:
JONATHAN & JANE SMITH
MEMORIAL FOOTBALL FIELD

Project Address:
 121 Kinneelon Rd
 Kinneelon, NJ 07405

Customer Approval:

Signature:

Approval Date:

ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

UL ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

Engineer Information:

Engineer Seal:

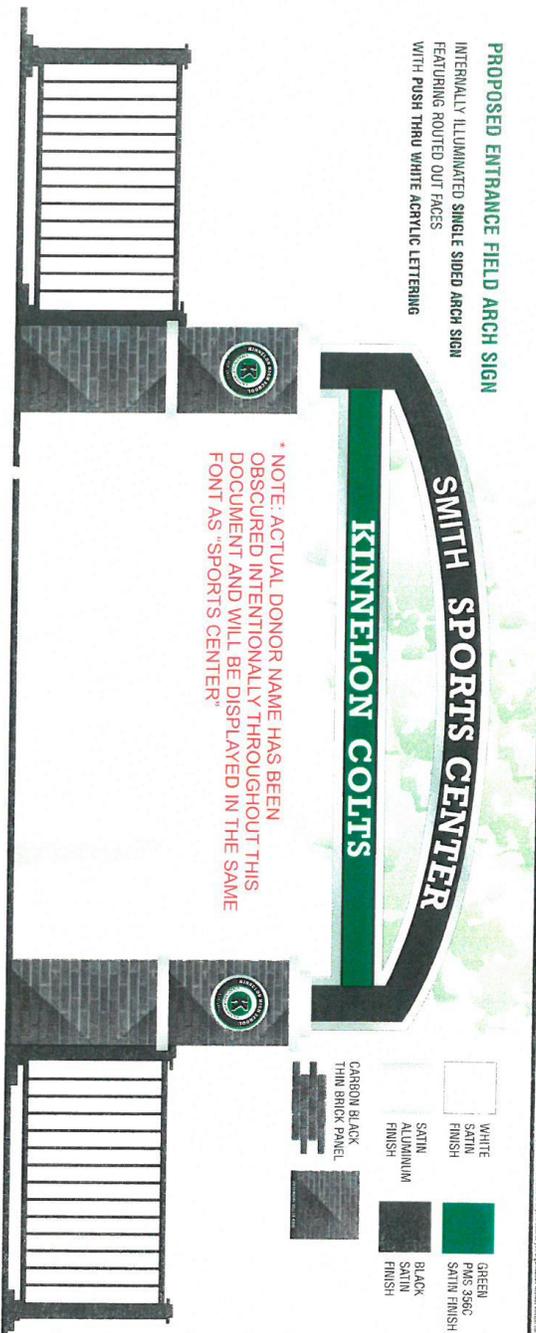
ENGINEER COMMENT:

Design, Fabrication & Construction Shall Conform to State & City Codes
 Drawing By: Manjiv
 Jonathan & Jane Smith Memorial Field Inc
 Date: 08/10/2021
 Sheet: 03

JONATHAN & JANE SMITH - MEMORIAL FOOTBALL FIELD- KINNELON HIGH SCHOOL

Notations on the sign are of design only. The actual sign will be produced in accordance with the specifications and details in the contract documents. The actual sign will be produced in accordance with the specifications and details in the contract documents.

PROPOSED ENTRANCE FIELD ARCH SIGN
 INTERNALLY ILLUMINATED SINGLE SIDED ARCH SIGN
 FEATURING ROUTED OUT FACES
 WITH PUSH THRU WHITE ACRYLIC LETTERING



*NOTE: ACTUAL DONOR NAME HAS BEEN
 OBSCURED INTENTIONALLY THROUGHOUT THIS
 DOCUMENT AND WILL BE DISPLAYED IN THE SAME
 FONT AS "SPORTS CENTER"

	WHITE SATIN FINISH		GREEN PMS 356C SATIN FINISH
	SATIN ALUMINUM FINISH		BLACK SATIN FINISH
	CARBON BLACK THIN BRICK PANEL		

B BERGEN SIGN COMPANY

50 Newark Boulevard, Newark, NJ 07102
 Phone: 973.262.1723 Fax: 973.262.0288
 4109 Route 208, Little Ferry, NJ 07643
 Phone: 954.973.9881 Fax: 954.973.7814
www.bergen-sign.com

Work Order:

Client: **JONATHAN & JANE SMITH**
 MEMORIAL FOOTBALL FIELD

Project Address: 121 Kinnelon Rd., Kinnelon, NJ 07405

Customer Approval:

Signature:

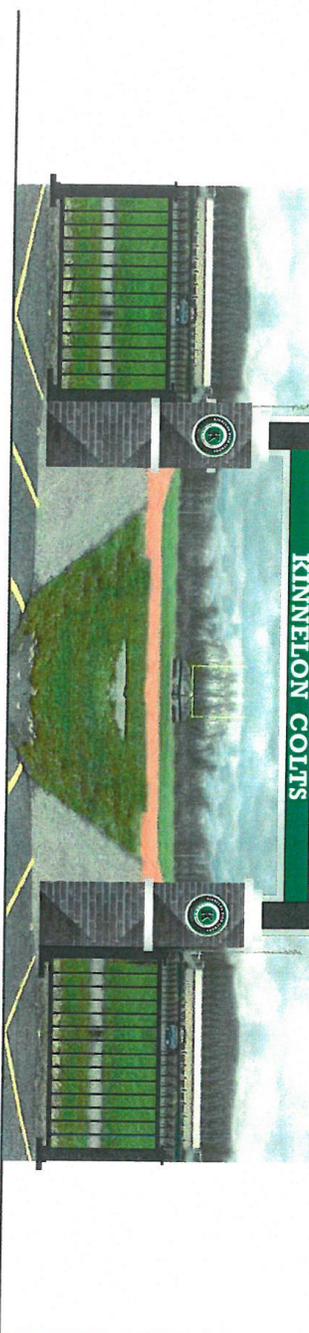
Approval Date:

UL ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

Engineer Information:

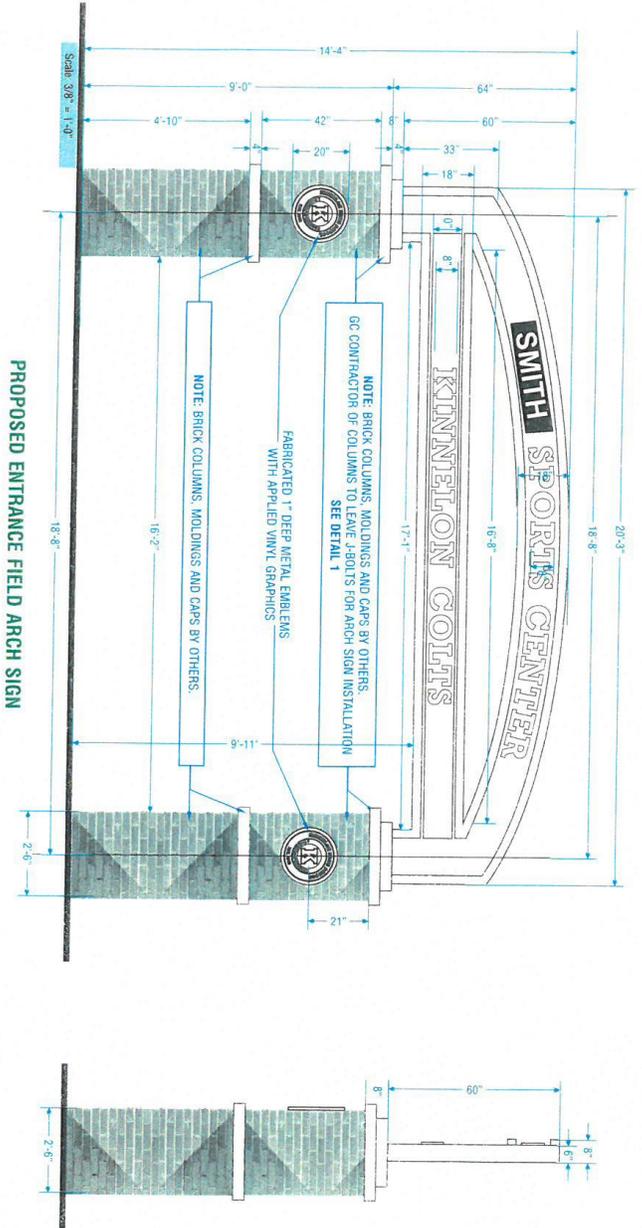
Engineer Seal:

SIGN 01



ENGINEER COMMENT:
 Design, Fabrication & Construction Shall Conform to State & City Codes
 Drawing By: Marjorie
 Jonathan & Jane Smith Memorial Field Arch
 Date: 06/10/2021
 Sheet: 04

SIGN 01
MEASUREMENTS AND SPECIFICATIONS



BERGSEN SIGN COMPANY

80 Newark Freeway, Springfield
 PH: 973.242.7755 FAX: 973.242.0588
 4100 North Riverside Blvd. - Suite 44
 Pompano Beach, FL 33073
 PH: 954.657.2881 FAX: 954.657.9014
 www.bergensign.com

Work Order:

Client:
JONATHAN & JANE SMITH
 MEMORIAL FOOTBALL FIELD

Project Address:
 121 Kinmelon Rd.
 Kinmelon, NJ 07405

Customer Approval:

Signature:

Approval Date:
Approval Date: The date that the client or other party has approved the drawings. It is the responsibility of the client to ensure that the drawings are approved and that the approval is in writing. The date of approval is the date that the client or other party has signed the drawings. The date of approval is the date that the client or other party has signed the drawings.

ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED

Engineer Information:

Engineer Seal:

ENGINEER COMMENT:
 Design, Fabrication & Construction shall conform to State & City Codes.

Drawing By: *Margie*

Jonathan & Jane Smith Memorial Field Arch

Date: 08/10/2021

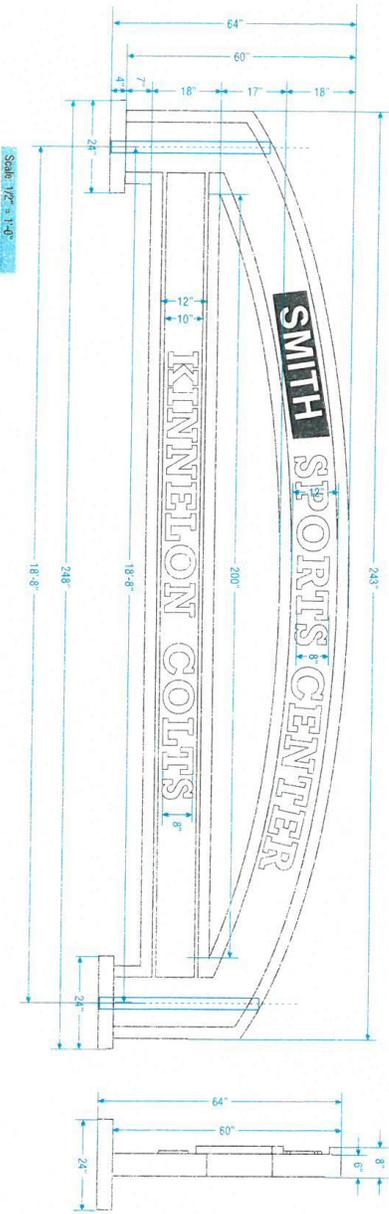
Sheet: 05

JONATHAN & JANE SMITH - MEMORIAL FOOTBALL FIELD - KINNELON HIGH SCHOOL

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**SIGN 01
PROPOSED ENTRANCE FIELD ARCH SIGN**

MEASUREMENTS AND SPECIFICATIONS



**BERGEN
SIGN COMPANY**

90 Newark Freeway, Newark, NJ 07102
 Tel: 973.272.2222
 4108 Route 108, Suite 108, Newark, NJ 07102
 Tel: 973.272.2222
 www.bergen-sign.com

Work Order:

Client:
 JONATHAN & JANE SMITH
 MEMORIAL FOOTBALL FIELD

Project Address:
 121 Kinnelon Rd.
 Kinnelon, NJ 07405

Customer Approval:

Signature:

Approval Date:

**ALL ELECTRIC SIGNS ARE
 UL LISTED AND LABELED**

Engineer Information:

Engineer Seal:

ENGINEER COMMENT:
 Design, Fabrication & Construction shall
 conform to State & City Codes

Drawing By: MARGIE

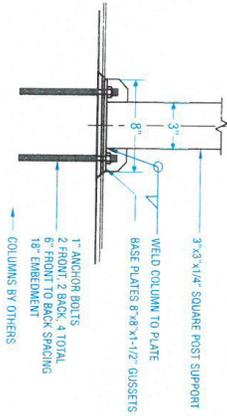
Location: Jonathan & Jane Smith Memorial Field Arc

Date: 08/10/2021

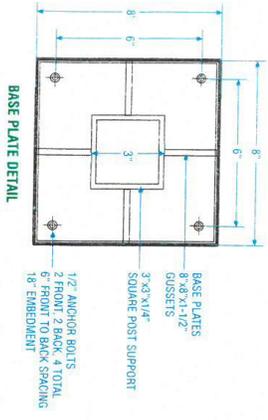
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These drawings are the property of the undersigned. They are to be used only for the project and site specified herein. They are not to be copied, reproduced or in whole or in part, without the express written consent of the undersigned.

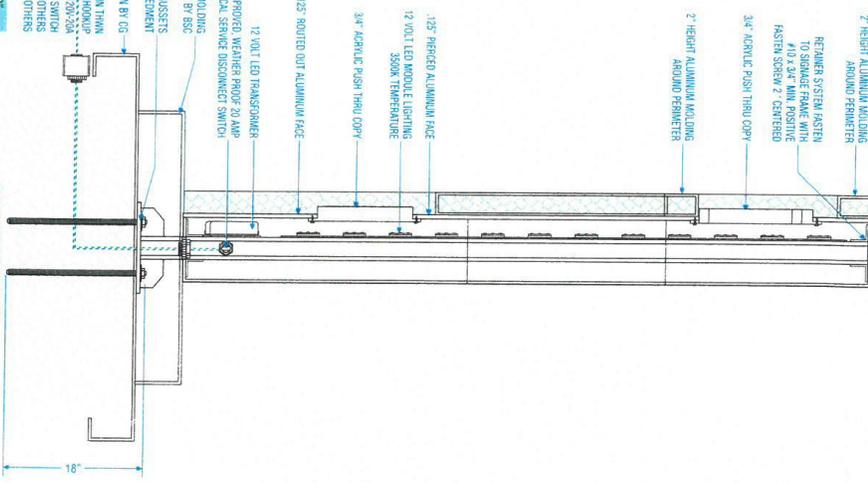
STRUCTURAL DETAILS



3"x3"x1/4" SQUARE POST SUPPORT
WELD COLUMN TO PLATE
BASE PLATES OF 8"x8"x1-1/2" GUSSETS
1" ANCHOR BOLTS
2" FRONT, 2" BACK, 4" TOTAL
6" FRONT TO BACK SPACING
18" EMBEDMENT
← COLUMNS BY OTHERS



BASE PLATES
8"x8"x1-1/2"
GUSSETS
3"x3"x1/4"
SQUARE POST SUPPORT
1-1/2" ANCHOR BOLTS
2" FRONT, 2" BACK, 4" TOTAL
6" FRONT TO BACK SPACING
18" EMBEDMENT



2" HEIGHT ALUMINUM MOLDING
AROUND PERIMETER
REPAIRER'S SYSTEM
1/2" DIA. HOLE
3/4" DIA. FASTENER SCREW 2" CENTERED
3/4" ACRYLIC PUSH THRU CAP
2" HEIGHT ALUMINUM MOLDING
AROUND PERIMETER
1-1/2" PERFORATED ALUMINUM FACE
12 VOLT LED MODULE LIGHTING
3500K TEMPERATURE
3/4" ACRYLIC PUSH THRU CAP
1-1/2" ROUTED OUT ALUMINUM FACE
12 VOLT LED TRANSFORMER
UL APPROVED WEATHER PROOF 20 AMP
ELECTRICAL SERVICE DISCONNECT SWITCH
ALUMINUM FABRICATED AND DUNG
TO COVER PLATE ATTACHMENT BY SSC
BASE PLATES 8"x8"x1-1/2" GUSSETS
1-1/2" ANCHOR BOLTS WITH 18" EMBEDMENT
TOP MOLDING COLUMN BY OS
EXISTING PRIMARY #12 MIN. THIN THAN
ELECTRICAL SERVICE WORK
PER NEC 90.5(B)(2)(1) 720V-25A
AS PER NEC 90.5(B)(2)(1) 720V-25A
FINAL ELECTRICAL CONNECTION BY OTHERS

Scale: 1/16" = 1'-0"

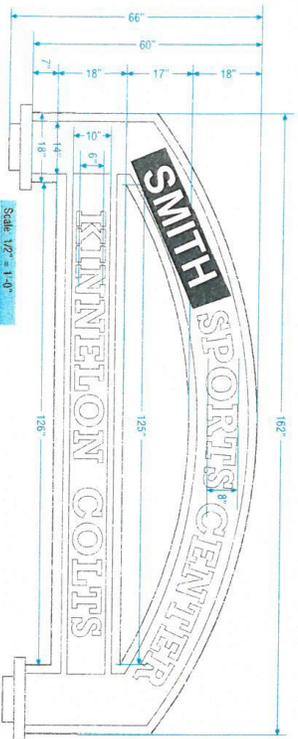
<p>5th Avenue, Pompton Plains, NJ 07424 Phone: 973-962-2292 Fax: 973-962-2298 4100 North Park Road, Suite 41 Pompton Plains, NJ 07424 Phone: 973-962-2292 Fax: 973-962-2298 www.bergen-sign.com</p>	
Client:	JONATHAN & JANE SMITH MEMORIAL FOOTBALL FIELD
Project Address:	121 Kinmelon Rd. Kinmelon, NJ 07405
Customer Approval:	
Signature:	
Approval Date:	
<p>ALL ELECTRIC SIGNS ARE UL LISTED AND LABELED</p>	
Engineer Information:	
Engineer Seal:	
ENGINEER COMMENT:	Design, Fabrication & Construction shall conform to State & City Codes
Drawing By:	Diagne
Jonathan & Jane Smith Memorial Field Ac	Date: 09/10/2021
Sheet:	07

SIGN 02



PROPOSED SECONDARY ENTRANCE AT SNACK STAND SIGN
 NON ILLUMINATED SINGLE SIDED ARCH SIGN
 FEATURING FLAT CUT OUT LETTERS

	WHITE SATIN FINISH		GREEN PMS 385C SATIN FINISH
	BLACK SATIN FINISH		BLACK SATIN FINISH
	SATIN ALUMINUM FINISH		100105675 CASTLE GATE THIN BRICK PANEL



B BERGEN
S SIGN COMPANY

98 Newark Postoffice Turnpike
 Wayne, NJ 07470
 973.262.1520 FAX 973.262.8598
 4100 Pennsylvania Avenue, Suite 44
 Princeton, NJ 08502
 908.952.7861 FAX 908.952.8414
www.bergen-sign.com

Work Order:

Client:
JONATHAN & JANE SMITH
 MEMORIAL FOOTBALL FIELD

Project Address:
 121 Kinmelon Rd,
 Kinmelon, NJ 07405

Customer Approval:

Signature:

Approval Date:

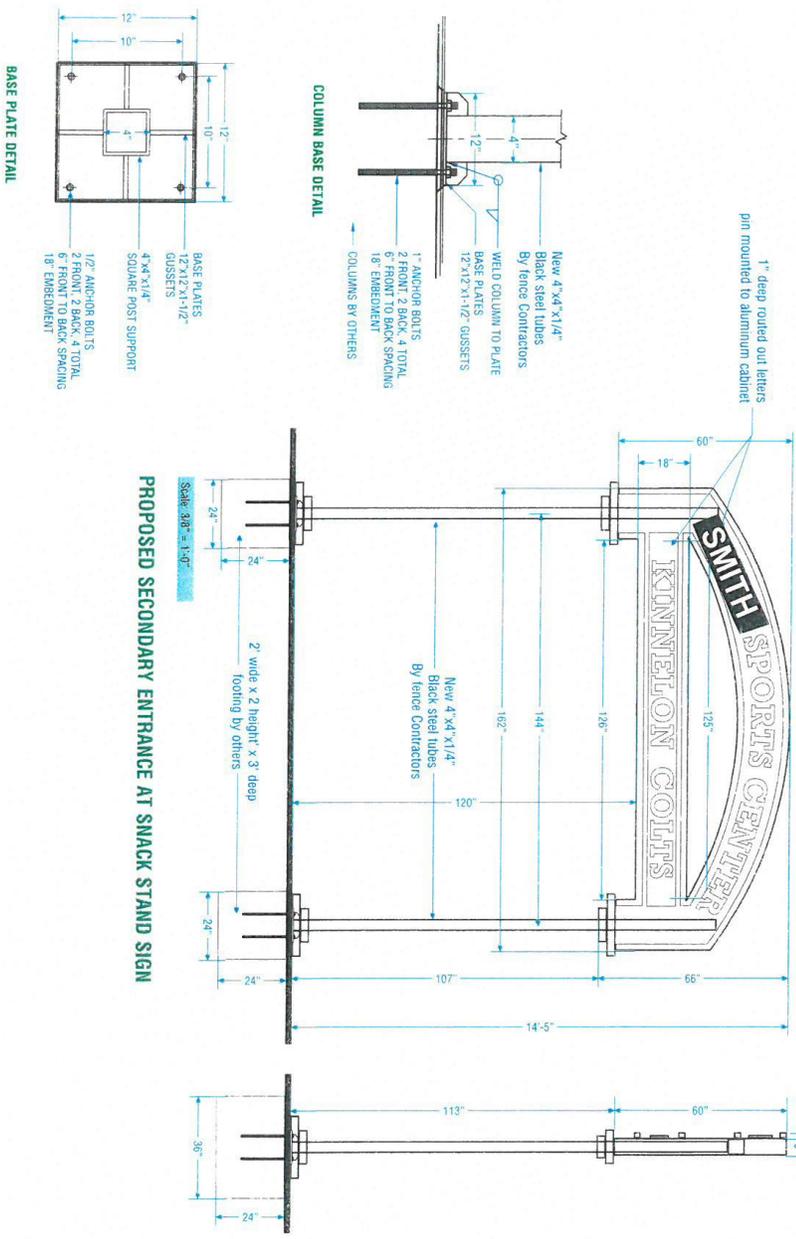
ALL ELECTRIC SIGNS ARE UNLISTED AND LABELED

Engineer Information:

Engineer Seal:

ENGINEER COMMENT:
 Design, Fabrication & Construction shall conform to State & City Codes
 Drawing By: Manjiv
 Jonathan & Jane Smith Memorial Field Arc
 Date: 08/10/2021
 Sheet: 08

SIGN 02
MEASUREMENTS AND SPECIFICATIONS



COLUMN BASE DETAIL

BASE PLATE DETAIL

BERGEN
SIGN COMPANY

90 Newark Corporate Turnpike
Newark, NJ 07102
Tel: 973.262.7755 Fax: 973.262.2555
4100 North Forester Road - Suite 14
Pompano Beach, FL 33073
Tel: 954.927.2961 Fax: 954.927.2914
www.bergensign.com

Work Order:

Client:
JONATHAN & JANE SMITH
MEMORIAL FOOTBALL FIELD

Project Address:
121 Kinnebon Rd,
Kinnebon, NJ 07405

Customer Approval:
Signature:

Approval Date:
Date:

UL ALL ELECTRIC SIGNS ARE
UL LISTED AND LABELED

Engineer Information:
Engineer Seal:

ENGINEER COMMENT:
Design, Fabrication & Construction shall
conform to Sign & Day Codes
Drawing by: Margie
Jonathan & Jane Smith Memorial Field Ac

Date: 08/10/2021
Sheet: 09

A motion to approve this application with the recommendation the lights go off at 11 pm was offered by Mr. Lockwood, second by Mrs. Smialek with the affirmative “yes” vote of all on roll call.

Vice Chairperson Dr. Savino stated the following: Mandcort easements have been sent for recording, deeds are being reviewed by our professionals so they can be recorded. Application # 843 17 Hemlock Lane for a lot line change has been received and is not complete yet.

A motion to approve the bills and adjourn was offered by Mr. Lockwood, second by Mayor Freda with the affirmative “yes” vote of all on roll call.

Respectfully submitted,

Jennifer Alimurat, Secretary